

**SCHEDULE OF DOORS & WINDOWS**

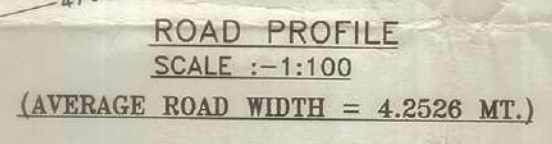
DOORS			WINDOWS		
TYPE	WIDTH	HEIGHT	TYPE	WIDTH	HEIGHT
D	1100	2100	W1	1500	1200
D1	1050	2100	W2	1200	1200
D2	900	2100	W3	900	1200
D3	750	2100	W4	600	600

SECTION A-A

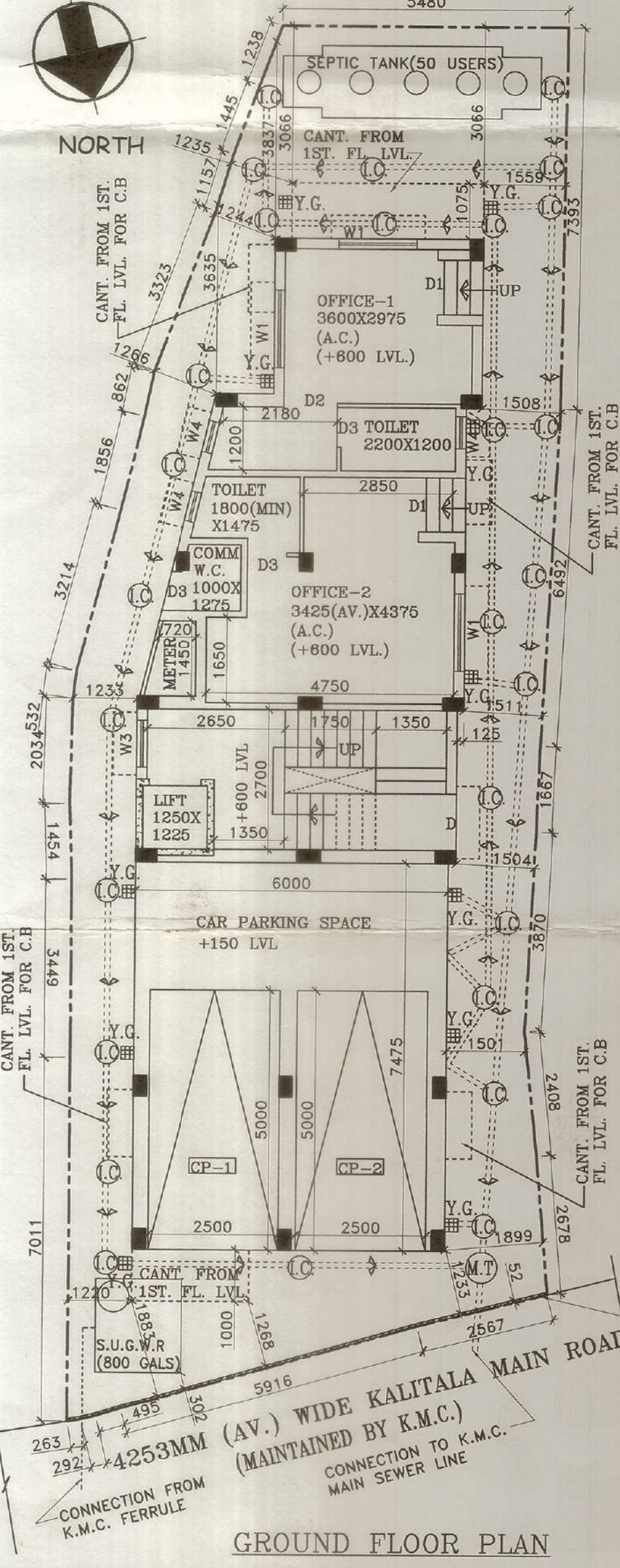
SECTION B-B



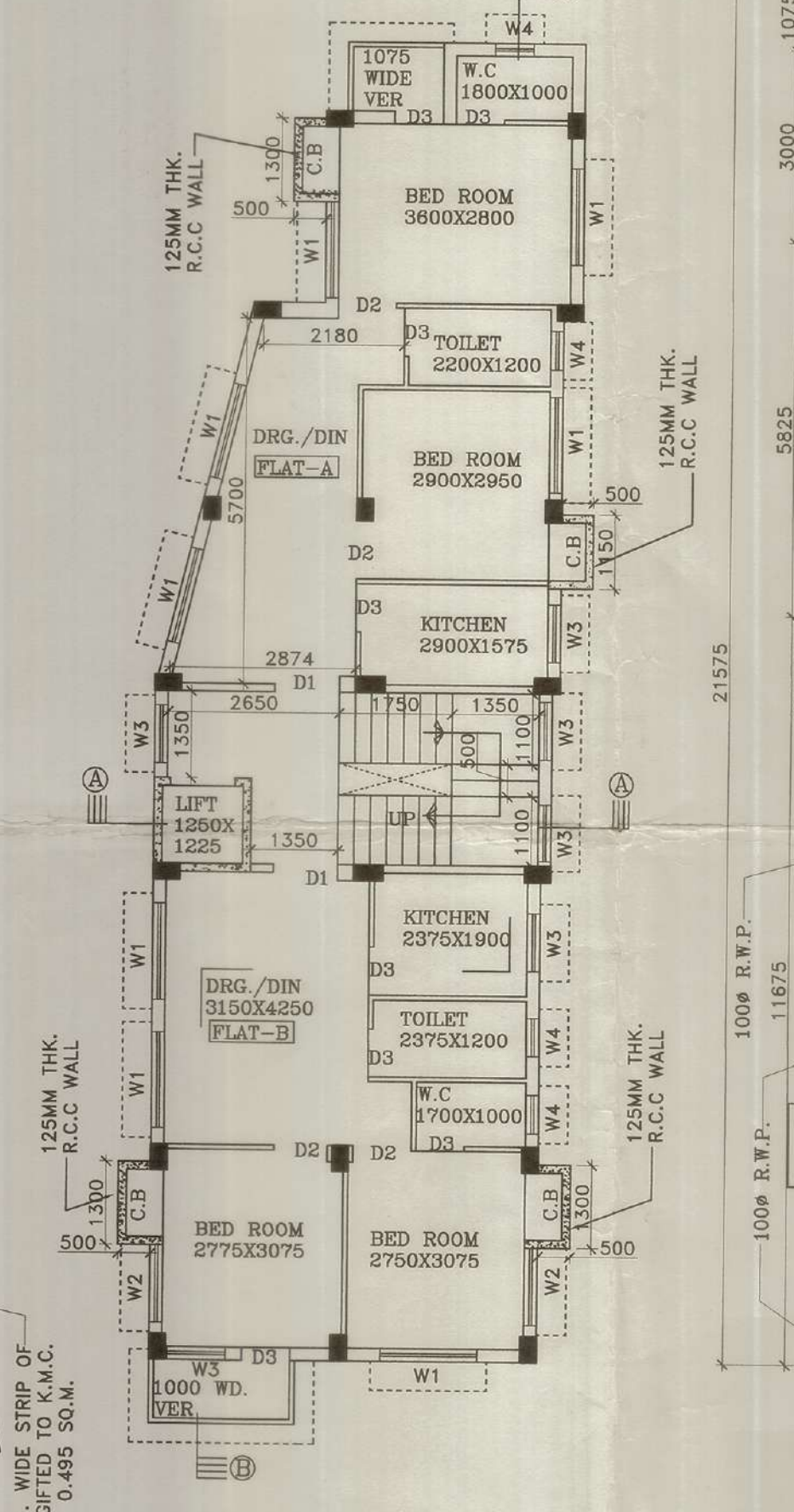
KEY PLAN SCALE -1:4000



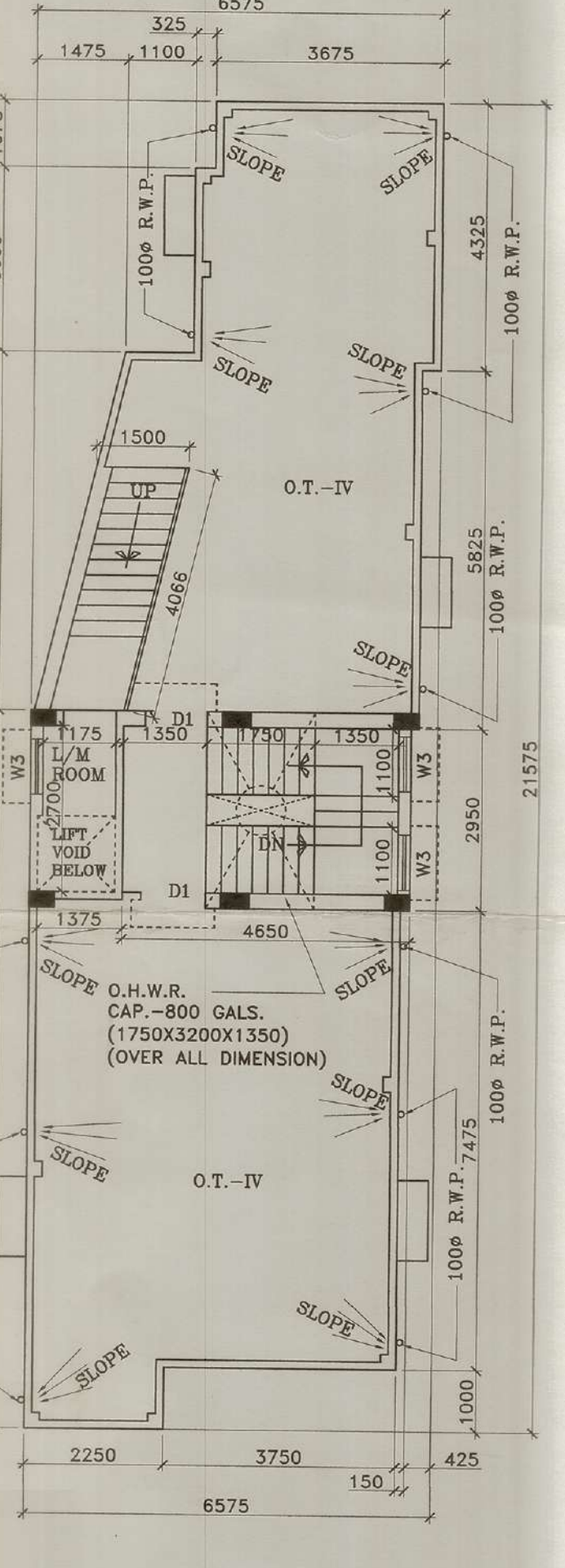
ROAD PROFILE SCALE -1:100 (AVERAGE ROAD WIDTH = 4.2526 MT.)



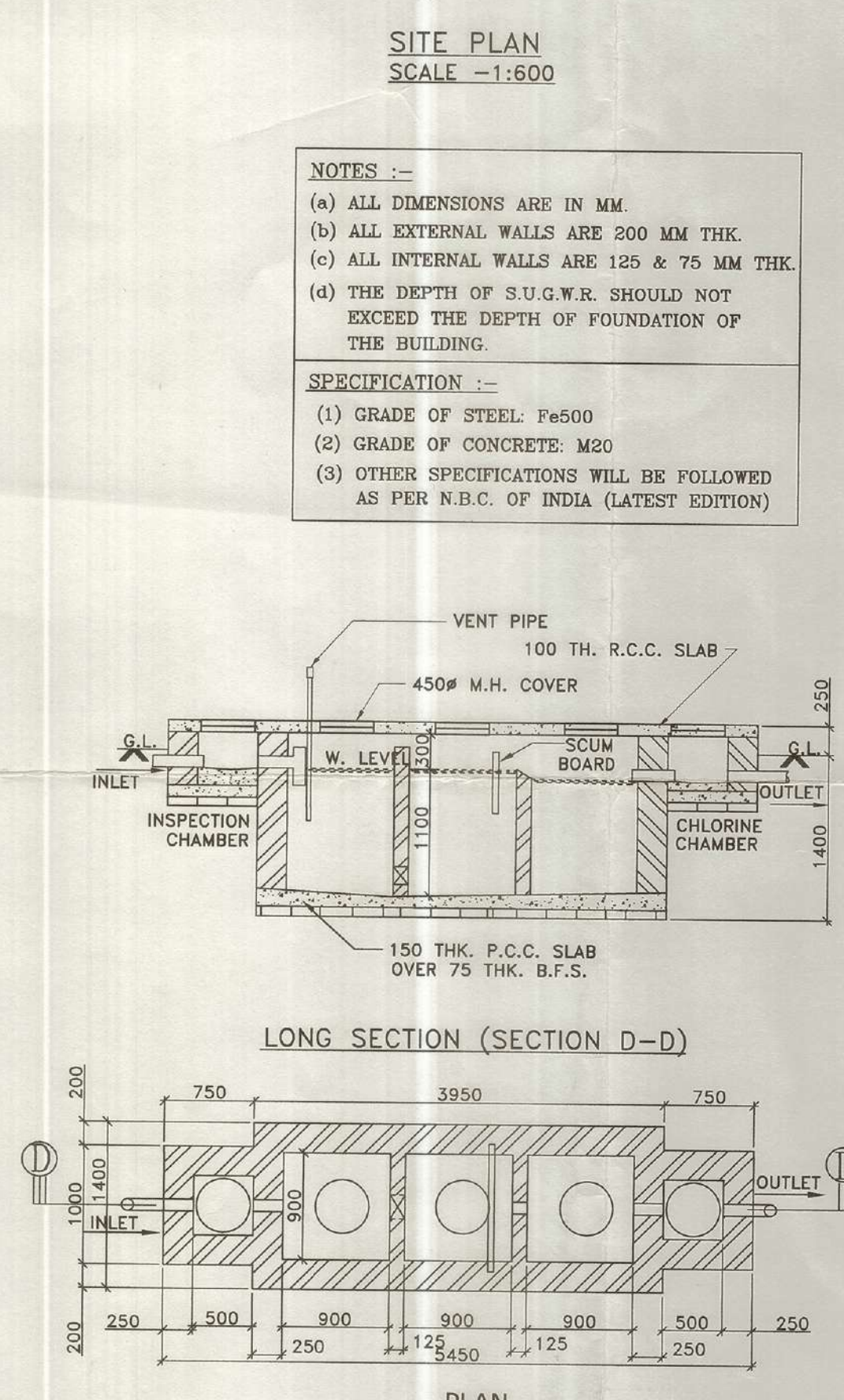
GROUND FLOOR PLAN



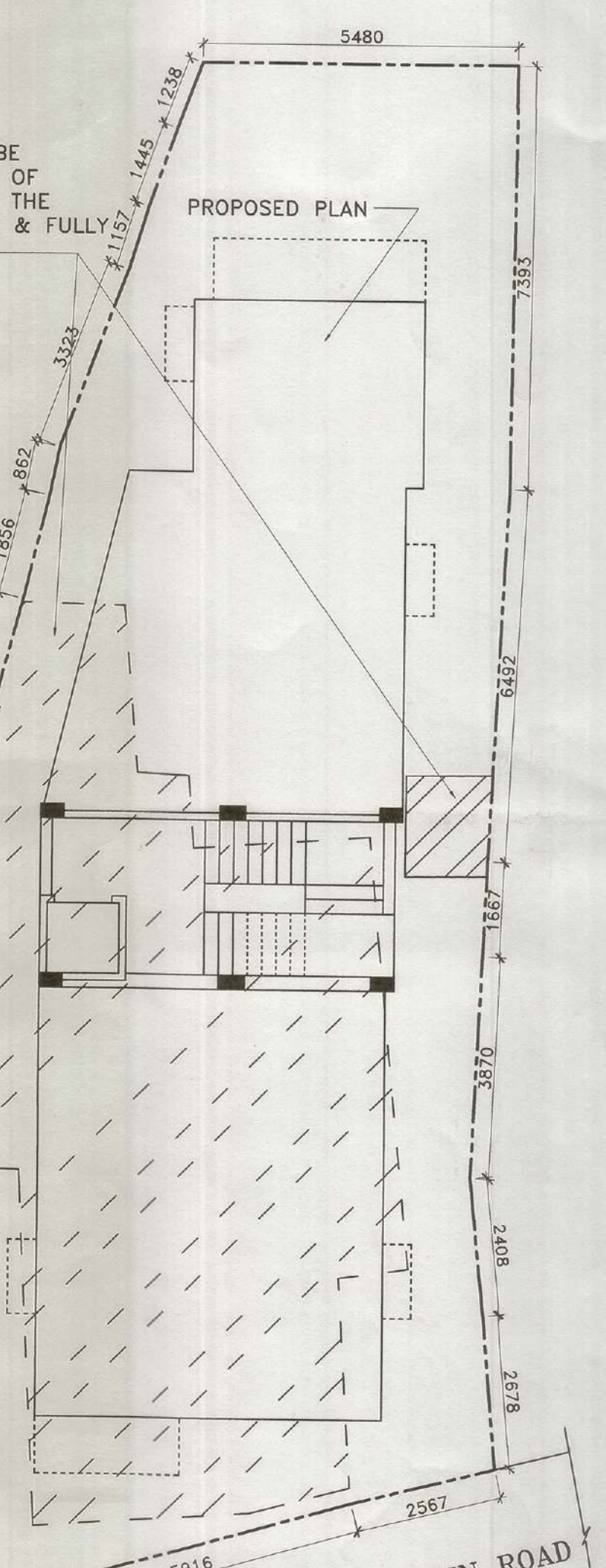
TYP. FLOOR PLAN (1ST./2ND. & 3RD.)



ROOF PLAN



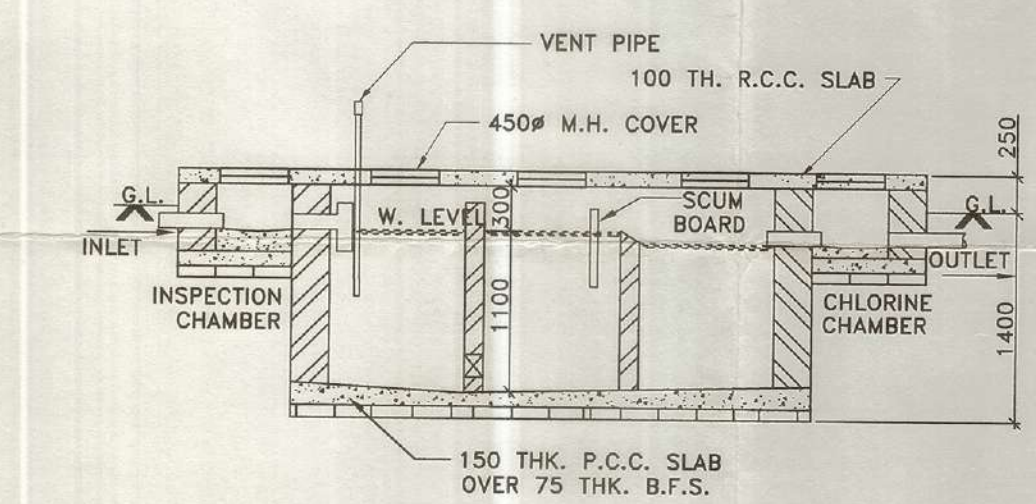
DETAILS OF SEPTIC TANK (50 USERS) SCALE -1:150



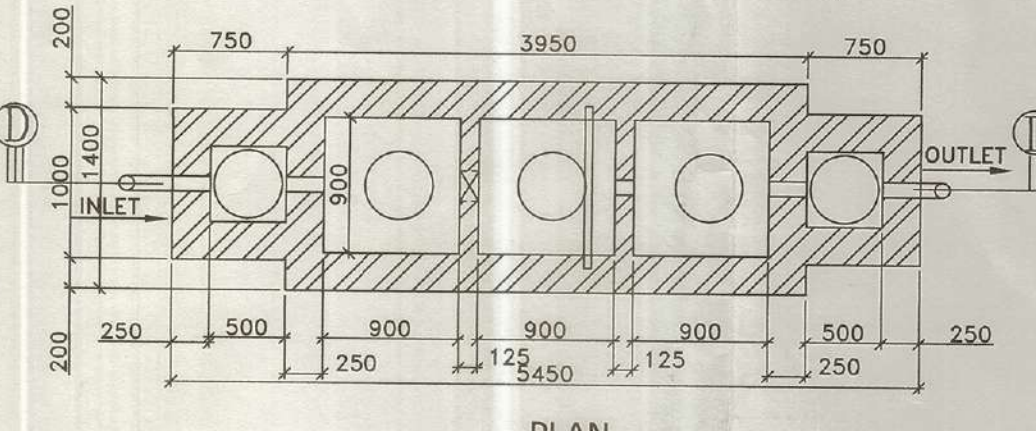
EXISTING STRUCTURE SCALE -1:100

**NOTES :-**  
 (a) ALL DIMENSIONS ARE IN MM  
 (b) ALL EXTERNAL WALLS ARE 200 MM THK.  
 (c) ALL INTERNAL WALLS ARE 125 & 75 MM THK.  
 (d) THE DEPTH OF S.U.G.W.R. SHOULD NOT EXCEED THE DEPTH OF FOUNDATION OF THE BUILDING.

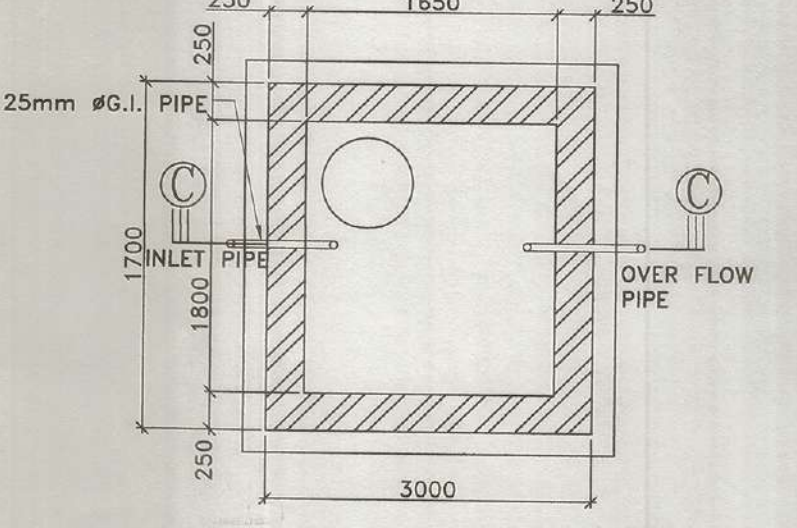
**SPECIFICATION :-**  
 (1) GRADE OF STEEL: Fe500  
 (2) GRADE OF CONCRETE: M20  
 (3) OTHER SPECIFICATIONS WILL BE FOLLOWED AS PER N.B.C. OF INDIA (LATEST EDITION)



LONG SECTION (SECTION C-C)



LONG SECTION (SECTION D-D)



PLAN OF S.U.G.W.RESV. (CAPACITY- 800 GALS / 3600LTS) SCALE -1:150

- "A"**
- ASSEESSE NO. - 311060600616
  - DETAILS OF REGD. DEED (MOTHER DEED):-  
 (a) BOOK NO. :- I (b) VOLUME NO. :- 2  
 (c) BEING NO. :- 698  
 (d) PAGES :- 294 TO 298  
 (e) YEAR & DATE :- 1962 (31.01.1962)  
 (f) REGD. OFFICE :- SUB-REGISTER ALIPORE
  - DETAILS OF REGD. GIFT DEED (1):-  
 (a) BOOK NO. :- I (b) VOLUME NO. :- 1603-2018  
 (c) BEING NO. :- 160302876  
 (d) PAGES :- 84802 TO 84824  
 (e) YEAR & DATE :- 2018 (02.07.2018)  
 (f) REGD. OFFICE :- D.S.R. III (SOUTH 24 PGS.)
  - DETAILS OF REGD. GIFT DEED (2):-  
 (a) BOOK NO. :- I (b) VOLUME NO. :- 1603-2018  
 (c) BEING NO. :- 160303493  
 (d) PAGES :- 109281 TO 109304  
 (e) YEAR & DATE :- 2018 (24.08.2018)  
 (f) REGD. OFFICE :- D.S.R. III (SOUTH 24 PGS.)
  - DETAILS OF REGD. DECLARATION FOR BOUNDARY AREA:-  
 (a) BOOK NO. :- I (b) VOLUME NO. :- 1603-2020  
 (c) BEING NO. :- 160301588  
 (d) PAGES :- 54965 TO 54977  
 (e) YEAR & DATE :- 2020 (14.09.2020)  
 (f) REGD. OFFICE :- D.S.R.-III (SOUTH 24 PGS.)
  - DETAILS OF BILLRO (MUTATION)  
 (a) MEMO NO.-18/5571/BILLRO/ATM/19  
 (b) DATE-05.11.2019
  - DETAILS OF BILLRO (CONVERSION)  
 (a) MEMO NO-17/3169, DATE-07.01.2020  
 (b) CLASSIFICATION-BASTU  
 (c) MOUZA-GARFA, J.L. NO.-19,  
 (d) R.S. DAG NO.-1203, R.S. KHATIAN NO-133
  - DEED OF GIFT :-  
 (a) BOOK NO. :- I (b) VOLUME NO. :-1603-2021  
 (c) BEING NO. :- 160300379  
 (d) PAGES :- 15509 TO 15523  
 (e) YEAR & DATE :-2021 (28.01.2021)  
 (f) REGD. OFFICE :- D.S.R.-III (SOUTH 24 PGS.)
- "B"**
- LAND AREA :-  
 (a) AS PER RECORD = 03K-02CH-25 SQ.FT. (211.353 SQ.M.)  
 (b) AS PER BOUNDARY DECLARATION = 211.323 SQ.M. (03K-02CH-24.681 SQ.FT.)
  - STRIP OF LAND (FRONT) = 0.496 SQ.M.
  - ROAD WIDTH (AVERAGE) = 4.2526 MTS. (SAY 4253 MM)
  - GROUND COVERAGE:-  
 (a) PERMISSIBLE = 59.623% (125.997 SQ.M.)  
 (b) PROPOSED = 54.392% (114.942 SQ.M.)
  - F.A.R.:-  
 (a) PERMISSIBLE = 1.75  
 (b) PROPOSED = 1.749
  - TOTAL COVERED AREA- (EXCL. EXEMPTED AREA & CAR PARKING FACILITY)  
 (a) PROPOSED = (394.773-25.00) = 369.773 SQ.M.
  - C.B. AREA = 7.575 SQ.M.
  - SIZE OF TENEMENTS:-  
 (a) >50 SQ.M. & <75 SQ.M = 6 NOS.
  - OFFICE AREA-  
 (a) COVERED = 41.890 SQ.M.  
 (b) CARPET = 34.486 SQ.M.
  - NO. OF CAR PARKING :-  
 (a) REQUIRED = 1 NO.  
 (b) PROPOSED = 2 NO.
  - CAR PARKING AREA = 44.847 SQ.M.
  - OVER HEAD WATER TANK AREA = 5.60 SQ.M.
  - STAIR COVERED AREA = 14.743 SQ.M.
  - LIFT MACHINE ROOM AREA = 4.611 SQ.M.
  - STAIR LEADING TO LIFT MACHINE ROOM = 5.923 SQ.M.
  - FEES FOR OTHER AREA = [(7.575)+(44.560+7.016)+(5.923)] SQ.M. = 65.074 SQ.M.

**DETAILS OF OFFICE AREA:**

OFFICE MKD.	CARPET AREA (SQ.M.)	TOTAL CARPET AREA (SQ.M.)	TOTAL COVERED AREA (SQ.M.)
OFFICE-1	15.433	(15.433+18.958)	41.890
OFFICE-2	18.958	34.411	

**DETAILS OF TENEMENT AREA:**

TENEMENT MKD.	TENEMENT AREA TO BE ADDED (SQ.M.)	TENEMENT AREA ACTUAL (SQ.M.)	NOS.
TYPE-1 (2A/3A/4A)	49.704	10.883	60.587 3
TYPE-2 (2B/3B/4B)	48.634	10.649	59.283 3

**DETAILS OF COVERED AREA:**

FLOOR MKD	EACH FL. AREA (SQ.M.)	STAIR WELL (SQ.M.)	LIFT WELL (SQ.M.)	NET AREA EXCL. ALL VOIDS (SQ.M.)	EXEMPTED AREA (SQ.M.)		GROSS FLOOR AREA EXCL. EXEMPTED AREA (SQ.M.)
					STAIR WAY	LIFT LOBBY	
GR. FLOOR	108.741	-	-	108.741	(12.015-0.875) = 11.140	1.754	[108.741-(11.140+1.754)] = 95.847
1ST. FLOOR	114.942	0.875	1.531	[114.942 -(0.875+1.531)] = 112.536	(12.015-0.875) = 11.140	1.754	[112.536-(11.140+1.754)] = 99.642
2ND FLOOR	114.942	0.875	1.531	[114.942 -(0.875+1.531)] = 112.536	(12.015-0.875) = 11.140	1.754	[112.536-(11.140+1.754)] = 99.642
3RD. FLOOR	114.942	0.875	1.531	[114.942 -(0.875+1.531)] = 112.536	(12.015-0.875) = 11.140	1.754	[112.536-(11.140+1.754)] = 99.642
TOTAL	453.567	2.625	4.593	446.349	44.580	7.016	394.773

**DECLARATION OF L.B.S. :-**  
 I CERTIFY ON THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009 AS AMENDED FROM TIME TO TIME AND SITE CONDITIONS INCLUDING THE WIDTH OF ABUTTING ROAD IS CONFIRM WITH THE PLAN. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK. IT IS FULLY OCCUPIED BY THE OWNER. THERE IS NO TENANT. THE ABUTTING ROAD IS 4.253 MT. (AV.) WIDE ON THE NORTHERN SIDE. THE PREMISES IS BEYOND 500 MT. FROM CENTER LINE OF E.M. BYPASS. THE OWNER'S SIGNATURE IS AUTHENTICATED BY ME.

**DECLARATION OF E.S.E. :-**  
 THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING SEISMIC AND WIND LOAD AS PER N.B.C. OF INDIA (LATEST EDITION) ON BASIS OF SOIL INVESTIGATION REPORT & CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

ASHIS KUNDU  
 B.C.E. (J.U.), L.B.S. No. 679 (I) K.M.C.  
 25 B, Mahatma Gandhi Road  
 Kolkata-700 082

SRI ASHIS KUNDU (L.B.S. No.-679/I)  
 SIGNATURE OF L.B.S.

SRI ASHIS KUNDU (E.S.E. No.-327/II)  
 SIGNATURE OF STRUCTURAL ENGINEER

**DECLARATION OF GEO-TECHNICAL ENGINEER :-**  
 UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

**DECLARATION OF OWNER :-**  
 I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT:-  
 I SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION.  
 I SHALL FOLLOW THE INSTRUCTIONS OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN)  
 K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURES.  
 IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN.  
 THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF E.S.E./L.B.S. BEFORE STARTING OF BUILDING FOUNDATION WORK.  
 THE PLOT IS IDENTIFIED BY ME.

**A.K. CONSULTANT**  
 25B, MAHATMA GANDHI ROAD, KOLKATA-700 082.  
 98303 34675 / 82405 44997

PROPOSED G+III STORED (HT.12.50 MT.) RESIDENTIAL BUILDING PLAN U/S 393A OF K.M.C. ACT 1980 COMPLYING BUILDING RULES 2009 AT PREMISES NO.-61, KALITALA MAIN ROAD, IN WARD NO.-106, BOROUGH NO.-XII UNDER THE KOLKATA MUNICIPAL CORPORATION, KOLKATA - 700 078, P.S.-GARFA, R.S. DAG NO.-1203, R.S. KHATIAN NO-133, MOUZA-GARFA, J.L. NO.-19.

NAME OF THE OWNERS: SRI SHYAMAL KUMAR ROY

SCALE ~ 1:50, 1:100, 1:200  
 1:600, 1:4000,  
 (OTHERWISE MENTION)

DRAWN BY: INDRANI ROSE  
 CHECKED BY: ASHIS KUNDU

**PARTY'S COPY**

Before starting any Construction the site must conform with the plans sanctioned and all the conditions as proposed in the plan should be fulfilled.  
The validity of the written permission to execute the work is subject to the above conditions.

A suitable pump has to be provided i.e. pumping unfiltered water for the distribution to the flushing cisterns and urinals in the building in case unfiltered water from street main is not available.

Non Commencement of Erection/ Re-Erection within Five year will Require Fresh Application for Sanction



**RESIDENTIAL BUILDING**

Necessary steps should be taken for the safety of the lives of the adjoining public and private properties during construction.

All Building Materials to necessary & construction should conform's to standered specified in the National Building Code of India.

The building materials that will be stacked on Road/Passage or Foot-path beyond 3-months or after construction of G. Floor, whichever is earlier may be seized forthwith by the K.M.C. at the cost and risk of the owner.

No rain water pipe should be fixed or discharged on Road or Footpath. Drainage plan should be submitted at the Borough Executive Engineer's Office and the sanction obtained before proceeding with the drainage work.

Design of all Structural Members including that of the foundation should conform to Standards specified in the National Building Code of India

**THE SANCTION IS VALIED UP TO 30-09-2026**

CONSTRUCTION SITE SHALL BE MAINTAINED TO PREVENT MOSQUITO BREEDING AS REQUIRED U/S 496 (1) & (2) OF CMC ACT 1980. IN SUCH MANNER SO THAT ALL WATER COLLECTION & PARTICULARLY LIFT WELLS, VATS, BASEMENT CURING SITES, OPEN RECEPTACLES ETC. MUST BE EMPITED COMPLETELY TWICE A WEEK.

Plan for Water Supply arrangement including SEMILI G. & O. H. reservoirs should be submitted at the Office of the Ex-Engineer Water Supply and the sanction obtained before proceeding with the work of Water Supply any deviation may lead to disconnection/demolition.

**DEVIATION WOULD MEAN DEMOLITION**

Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started  
Executive Engineer (C) BR. Mazumdar  
Asst. Engineer (C) BR. PLAN - 362

Form A  
A Certificate of Mutation  
(See Rule 81)  
To: Sagaral Kumar Ray of Late Annapurna Devi Ray  
(Name and address of the applicant) 16, Rajendra Park, New Road, Kolkata - 700017  
Reference: 792/19  
This is to certify that the name has been mutated in respect of the land described in the Schedule below:  
The Schedule:  
1. District: South 24 Pgs  
2. Police Station: Baruipur  
3. Name: Baruipur  
4. I.L. No.: 19  
5. Khasra No.: 133  
6. Plot No.: 1203  
7. Area: 02k.02ad.25 sft  
8. Classification: Baruipur (Comp. 22)  
The Government of West Bengal  
Office of the District Land & Revenue Officer,  
Address: Thakurpala, Main Branch of KMC,  
New Road, Kolkata - 700017. Phone No.: 8324441214  
Fax: 8324441214  
Date: 07/10/2020  
Signature: Sagaral Kumar Ray  
Stamp: RESIDENTIAL BUILDING